

BUILDING IN MOFFAT COUNTY

Moffat County has adopted the 2006 International Codes

Design criteria: • Wind - 90mph. • Snow Load - based on the 1989 SEAC Report and varies with elevation but generally breaks out like this: Craig and surrounding area- 40psf roof snow load or 57psf ground snow load. For elevations above 7000 feet you will need to check with the building department for the snow load information prior to beginning construction.

Setbacks: For rural residential and agriculture are 30 ft. front, 10 ft. sides, 10 ft. rear. For Shadow Mountain Village: 20 ft. front, 5 ft. sides, and 10 ft. rear.

Driveway permits are required and may be obtained from the Moffat County Road & Bridge department, at 822 East 1st. St. Permits for septic systems are issued through the building department at a cost of \$75. Septics' in Moffat County are required to be engineered. Permits are required for structures larger than 200 sq. ft.; fences higher than 6 ft.; retaining walls greater than 4 ft.

No buildings that are intended to be used exclusively for agricultural purposes are required to obtain a building permit as long as it meets the specific criteria listed in Section 510 of the Moffat County Zoning Resolution...***Building or structure used for the sole purpose of providing shelter for agricultural implements, farm and ranch products, livestock, or poultry shall be exempt from obtaining a Building Permit, however buildings which are used for the storage of passenger vehicles, recreational vehicles and equipment, construction tools and equipment not directly related to agricultural, and workshops are not considered agricultural buildings for the purpose of this exemption.***

Some developments have restrictive covenants, be sure to check with the homeowners association during the planning process.

FOUNDATIONS:

Foundations for commercial or residential living space must be designed by a licensed design professional with the following exemptions:

- Residential structures not intended for habitation.
- Residential additions that are 200 sq. ft. or less.
- Residential structures less than 1200 sq. ft. intended for seasonal or recreational use as defined by Section 410.5(a) of the Moffat County Zoning Resolution.
- "U" occupancy commercial buildings
- Low hazard "S" occupancy may not require engineering, at the discretion of the Building Official.

Basements that are intended for living space will be insulated, sealed and drained.

Crawlspace foundations may or may not require a French drain, but must be sealed and insulated with a min. R-10. Note: Insulating the joist space with R-30 will be allowed in

place of wall insulation. A vapor barrier (6 mil plastic) is required under slabs that enclose living space. It is recommended for crawl spaces but not required.

C. Piers:

1. Piers intended as foundation for living space must be engineered, stamped and signed.
2. Piers are allowed for decks and porches.
3. Bottom of pier must be 48" below finished grade and extend at least 6" above grade.
4. Each pier must contain at least 1 #4 rebar. All rebar must have a minimum cover of 2" from air or soil.
5. It is recommended that sono tubes only extend 12" into the pier hole so that the majority of the pour is against undisturbed soil. Exception: If the hole is excavated for a separate footing and pier, or the "Big Foot" system is used.
6. Beams that attach to piers must be treated lumber or be protected by a separation from the concrete. This can be accomplished either by using a treated wood shim, metal or by the beam anchor itself.
7. Beams must be attached to piers using an approved anchor, "Simpson Strongtie" or equal, and must be of appropriate size to carry all existing and applied loads.

FLOOR SYSTEM:

- A. Can be of nominal lumber or manufactured "I" Joists with $\frac{3}{4}$ " T&G OSB Sub floor.
- B. Solid blocking is required at all points of bearing, and at 8' OC for nominal lumber.
- C. Rim joist must be attached using 8d nails 6" OC.

ROOF:

- A. Engineered trusses, "stacked roof", or beam and post with purlins are all acceptable as long as it can be demonstrated that it will accommodate all loads. This can be determined by engineered drawings from truss company or manufactured "I" joist supplier, or by the span tables in the code.
- B. The building official must approve individually designed roof, framing or floor systems prior to starting construction.
- C. Ice and water shield must be installed on the eaves and extend 24" beyond the interior wall line.

STAIRS:

- A. A maximum rise of 7.75" and a minimum tread of 10". A landing must be provided at the top and bottom of the stairs, the landing must be at least as wide as the stairs or door served and a minimum of 36" measured in the direction of travel but in no case less than 36" x 36". All exterior exits must have a landing on either side of the door. No landing is required at the top of interior stairs unless a door swings over the top of the stairs.
- B. Guardrail/Handrail: Porches, balconies or raised floor areas greater than 30" shall be provided with a guardrail. Guardrail shall have a minimum height of 36" and no opening greater than 4". Handrail can be 34" to 38" in height.

EGRESS:

- A. Every home is required to have at least one exit that opens directly to the outside. That exit cannot be through a garage.
- B. Every sleeping room must have at least two exits and one can be a window. The window must have a minimum openable area of 5.7 sq. ft. (821 sq. in.) The opening cannot be less than 24" high or less than 20" wide. The sill cannot be more than 44" off the floor.
- C. Window wells that provide egress from the home and are deeper than 44" must be provided with a permanent ladder constructed of non-flammable materials and permanently affixed. An approved grate or cover is required.

VENTING:

- A. Attic space must be provided with vents equal to 1 sq. ft. for every 150 sq. ft. of space. If vapor barrier is used on the warm inside of the home that can be reduced to 1 sq. ft. for every 300 sq. ft. of space.
- B. Crawl spaces must also be provided with vents equal to 1 sq. ft. for every 150 sq. ft. of space. If vapor barrier is used, this can be reduced to 1 sq. ft. for every 1500 sq. ft. of space.

GLAZING:

Safety glazing is required within 24" of the operating side of an exit; in stairways and landings and in bathtub and shower enclosures if the sill is less than 60" above the floor.

FIRE SEPARATION:

- A. Between an attached garage and the living space, a minimum ½" type x Drywall on the garage side is required. This separation must include the attic space.
- B. Smoke detectors are required on every level of the home, with one in each sleeping room and outside each sleeping area. In new construction they must be hardwired with battery backup and interconnected. In existing construction or hunting cabins with no electricity, a battery-operated detector may be used.

INFORMATION NEEDED:

- Two sets of building plans with details of proposed structure including: floor plan, foundation, framing, and roof system. See attached example.
- A plot plan showing existing buildings, well, septic, proposed construction and distances in feet from all property lines (to insure setbacks and separations between well and septic). A minimum 100' separation between well and septic or leech field must be maintained.
- Completed application form, dated and signed.

ADDRESSING NOTE:

The Building Code and the Zoning Regulations require addresses to be posted so that the numbers are visible from the street or road. If the home is located more than 50' from the shoulder of the road, a sign or post must be used. It must be between 5' and 7' high and be located 25' or less from the shoulder of the road. The letters must be contrasting and 4" in height or 3" minimum if reflective.

WHAT DO I NEED TO GET A CO?

A Certificate of Occupancy is required before moving into a home or business. The following is a list of the basic requirements for obtaining a CO:

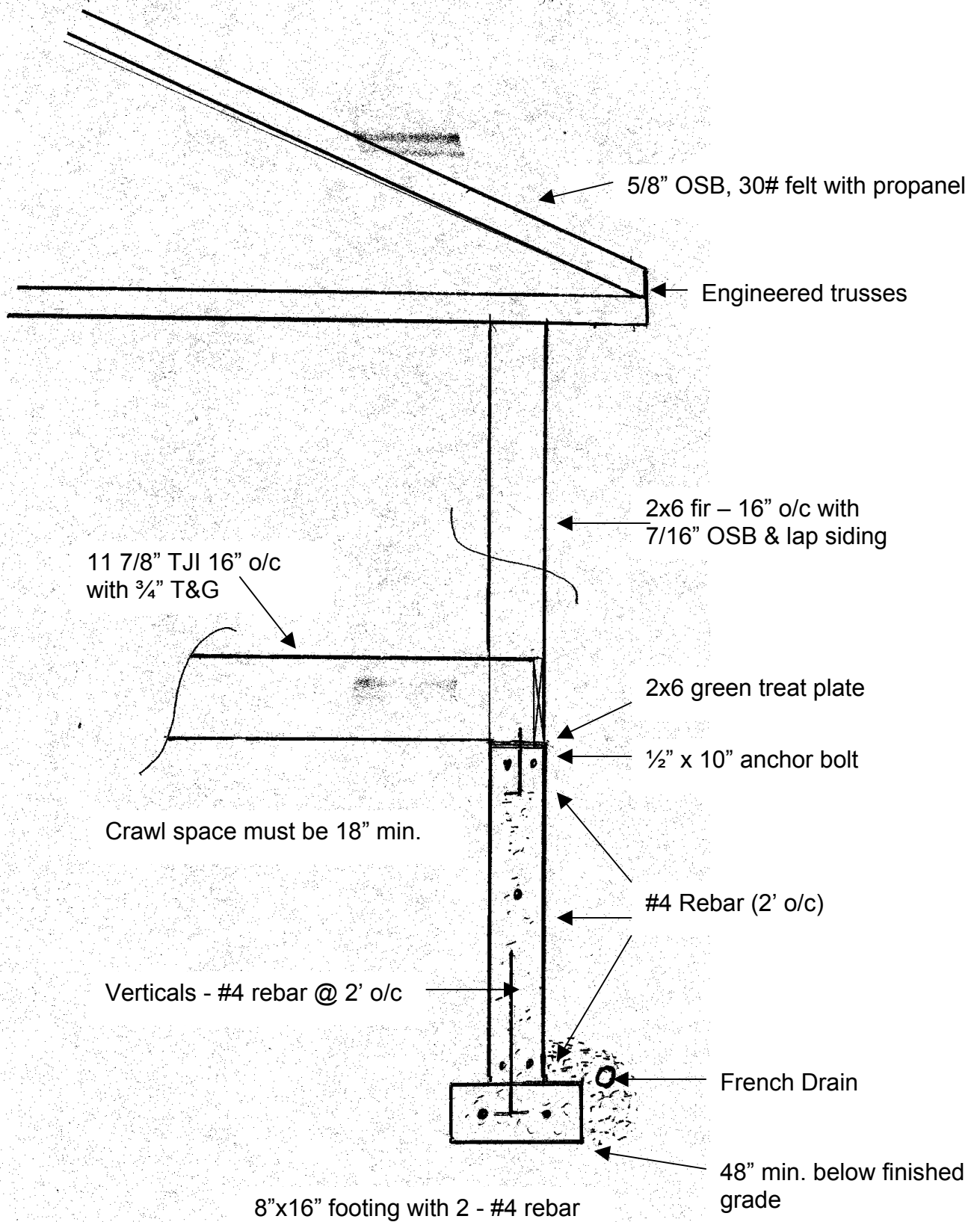
- Complete and approved electrical system.
- One functional bathroom and kitchen sink with hot and cold running water.
- An approved sewage disposal system.
- A functional heating system.
- No hazardous condition can exist in the occupied space, i.e. raised floor areas with no guardrail or handrail, etc.
- Address posted in a conspicuous location.

REQUIRED INSPECTIONS

- **SITE** – If you are building on sloped or steep terrain a site inspection may be required prior to beginning construction.
- **EXCAVATION** – May be conducted at the same time as the footing inspection.
- **FOOTINGS** – After steel is placed and before any concrete is poured.
- **WALL OR SLAB** – After steel is placed and before concrete is poured. If structure is to be masonry block an additional inspection is required every 4th course and before the top plate is installed. Note: A “UFER” grounding conductor is required in the wall or footing prior to pouring.
- **UNDERFLOOR** – Sewer, water, heating supply lines, supply and or return ducts and any electrical.
- **ROUGH IN FRAMING, PLUMBING, MECHANICAL, ELECTRICAL** – Framing inspections must be conducted after all framing is completed, outside and roof sheathing is applied, doors and windows installed but before any roofing material, exterior and interior wall covering. Plumbing and Mechanical includes all DWV, water piping, boiler piping, exhaust fans, vents, supply and return ducts and all electrical before insulation or wall coverings are applied.
- **INSULATION** – Prior to covering. It is important to note that you must maintain at least 1” clearance from heater or boiler vents and 2” from vents that serve a solid fuel-burning appliance. Insulation shields must be placed around all fuel vents in the attic space. Baffles are required in any application where soffit vents are used.
- **INTERIOR WALL FINISH** – Drywall nail or screw pattern before any tape or texture is applied.
- **FINAL** – After completion of construction and installation of all utilities. A Certificate of Occupancy cannot be issued until a final electrical inspection.

NOTE: A 24-hour notice is required for all inspections. 970-824-9149

EXAMPLE WITH DETAILS



Note: Material type, size and spacing are for illustration purposes only.